



Remington

MULTI-FAMILY RESIDENTIAL DESIGN GUIDELINES & ARCHITECTURAL CODES QUARRY PARK

REPORT

JANUARY 2008

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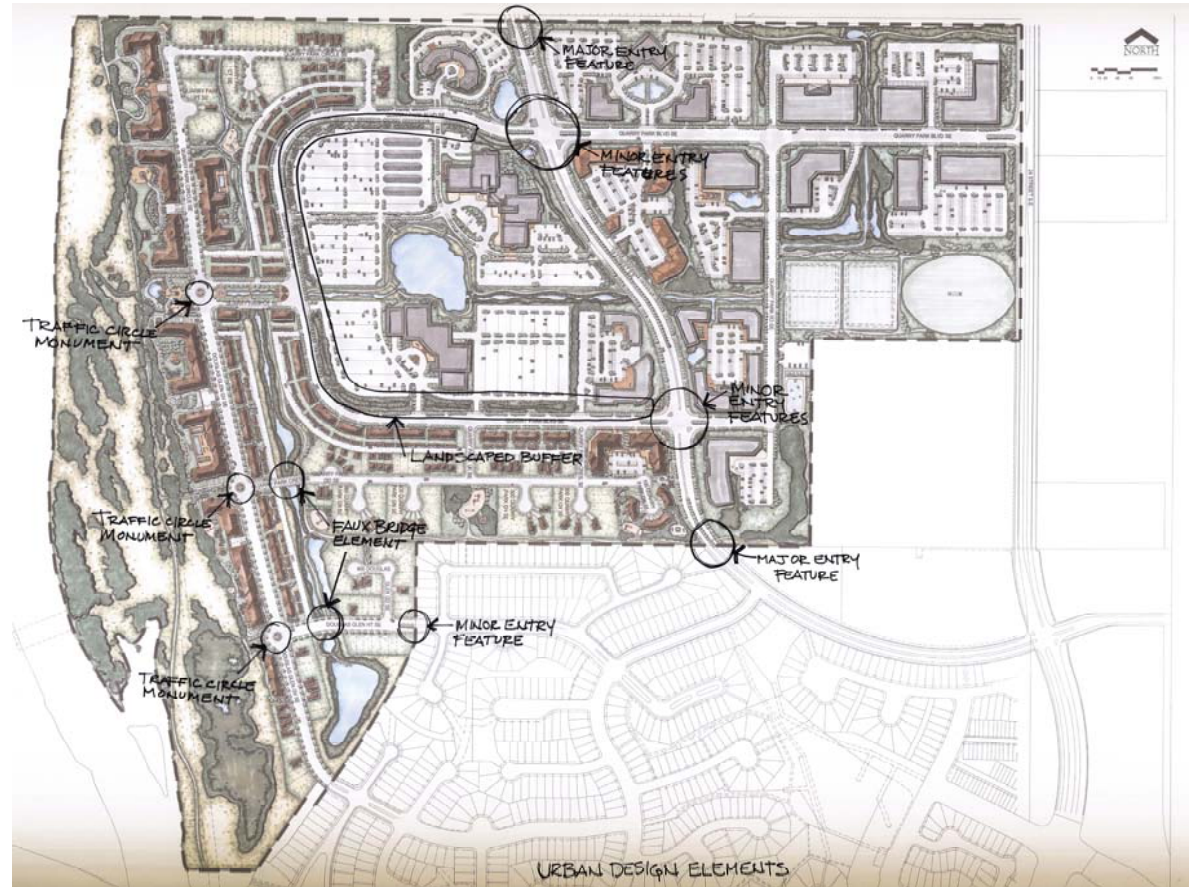
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PREFACE

This booklet includes both the Residential Design Guidelines, covering the community's site and stormwater goals, and the Architectural Codes, which dictate the desired building character and materials.

The "Multi-Family Residential Design Guidelines" promote the physical and visual enhancements of the development by providing rules for parking, stormwater management, landscaping, storage, lighting and pathways. In general, the community's central design principle involves overland containment and treatment of stormwater, with supporting open space. Pathways and park space are strategically located within the community to take advantage and promote overland drainage and stormwater management. Rules for urban elements such as address posts and fencing ensure a high level of quality and consistency within Quarry Park.



Urban Design Elements in Quarry Park

The Architectural Codes permit a focused range of architectural style for the multi-family housing products. Styles permitted in Quarry Park include French Country and Georgian. Finish material will be limited to stucco, stone, and brick siding materials. It is the intent of the Codes to ensure that the styles are truthfully adhered to for both single-family and multi-family housing development.

PART I — MULTI-FAMILY RESIDENTIAL DESIGN GUIDELINES

1. INTRODUCTION

The following outlines the Residential Design Guidelines for Quarry Park. Quarry Park is an integrated office park and residential community located in southeast Calgary. These guidelines are an integral component of the residential land uses for Quarry Park and are intended to provide the appropriate criteria for design and construction, adding consistent application of design integrity to the park. Within the context of the mandated architectural styles, the guidelines are in no way intended to limit either design creativity or the functionality of the premises for their approved purposes.

The major design considerations of these guidelines are to:

1. Create an attractive environment characterized by quality in architectural design, selection of materials and colours, site layout and landscaping;
2. Ensure stormwater design meets site requirements and that the stormwater system is properly maintained over the long-term;
3. Ensure landscape design is integral to the overall site plan and provides consistency throughout the development including streetscape, parking areas and appropriate concealment of all service areas;
4. Create an attractive environment characterized by quality in architectural design, site planning and landscaping;
5. Protect the owners, lessees and/or tenants of buildings within the development against improper and undesirable use of other residential, townhouse, or apartment sites in the community, and to foster high quality developments; and
6. Ensure all development within the park is complimentary to existing and proposed adjacent land uses and development.

These guidelines in no way limit the legal liability of the purchaser/applicant from compliance with the Alberta Building Standards, the City of Calgary Land Use Bylaw and any other statutory requirements or regulations.

Furthermore, the Design Guidelines are meant to establish a framework around which individual landowners, builders, and / or architectural consultants can implement individual designs. This document is to serve as a guide to the design approval process and the individual property owner / developer to effectively coordinate the visual and physical aspects of any new development.

2. GUIDELINE PROCEDURES

2.1 General

Quarry Park was developed to create a true mixed-use community with a high quality business and living environment, which will provide long-term benefits and retain property value for the industrial / business users and the community at large.

Remington Development Corporation, as the registered owner of the lands, will register these Design Guidelines and Architectural Codes as a Restrictive Covenant on all the subdivided lots. It should be noted that Remington Development Corporation is acting solely as the developer of Quarry Park and in no capacity as the approving authority for the City of Calgary.

It is the intention of the Developer to control and enhance development of Quarry Park by means of the restrictions and conditions of the Guidelines and Codes to set these forth as the covenants registered against title of each lot, which covenants are intended to be common to all of the lots developed within Quarry Park to enhance and protect the value, market desirability, and aesthetic attractiveness of all of the lots to their mutual benefit.

It should be noted from the outset that these guidelines are to be read in conjunction with the City of Calgary Land Use Bylaw.

3. DEVELOPMENT DESIGN - GENERAL

1. All developments shall be planned and designed as an integral part of the existing and/or proposed streetscape and overall development. Special attention must be paid to site and building design for properties fronting on Quarry Park Boulevard adjacent to the Industrial lands. The majority of requirements for screening, landscaping, stormwater management and set-backs are placed upon the industrial lots. All residential development, including townhouse and apartments are required to have main floor entries for units fronting the street.
2. Stormwater management, signage, architecture and landscaping are the four principal unifying elements present in the overall development. Accordingly, the maintenance of stormwater facilities, of signage requirements and of a landscaped street frontage as continuous elements is an essential requisite of development approval.
3. For multi-family projects, all buildings on a single site shall be built using compatible architectural styles and exterior finishes unless individual buildings and their immediate surroundings reflect the images of single and separate developments. All architecture must follow the styles identified in the Architectural Codes.
4. The individual entries for sites with apartment buildings shall be identifiable without detracting from the building's overall appearance.

4. STORMWATER MANAGEMENT (MULTI-FAMILY ONLY)

1. It is the intent that all apartment properties provide on site treatment and storage of stormwater. Sites must obtain a minimum storage capacity and also improve water quality by removing contaminants and suspended solids. A controlled release of stormwater into the linear stormwater management system is also required. Stormwater storage and treatment may be achieved through several methods, including rooftop storage, green roofs, parking island bio-swales, water features, constructed wetlands or mini wetlands, rainwater storage tanks, landscaping, and building architecture.
 - A. All apartment sites at minimum provide a minimum stormwater storage capacity of 250 m³/ha.
 - B. All apartment sites should at minimum provide on-site treatment with respect to total suspended solids and reduce annual loadings to 85% for particles of 75 microns or larger.
 - C. All multi-family sites should release stormwater into the linear stormwater system. A maximum rate of 70 L/s/ha is desired.
 - D. All stormwater flows should pass through a vegetated area. This will ensure grit and oils are trapped and that suspended solids are removed. This is to be accomplished through strategic placement of planting beds and use of appropriate plant material.
 - E. Builders of residential multi-family (apartment and townhouse) lots are required to create a **Stormwater Management Checklist** and adhere to its conditions. The checklist shall include the following:
 - i. **Site Servicing Plan**, which demonstrates that the stormwater management objectives are met and that an Erosion and Sediment Control Plan has been submitted to the City and has received approval.
 - ii. **Installation and Maintenance Schedule**, which will give a detailed breakdown of construction process and costs and maintenance timeline and procedures. One of the central goals of the schedule is to show that stormwater is controlled or contained during construction; a regular reporting on ESC and its maintenance during construction and maintenance period is required.



Desired Overland Stormwater Flows

- iii. Completion of **as-built drawings** after construction completion to show compliance with design and maintenance objectives.
- F. A holdback of 15% of the estimated construction value for onsite construction of stormwater facilities and associated landscaping will be held by Remington Developments and released upon completion and acceptance of all items addressed in the stormwater management checklist.
- G. It is recommended that stormwater facilities and associated landscaping, as well as areas adjacent to the linear stormwater system, be constructed prior to general site construction. This will ensure that an operable stormwater system is in place during construction and protect the linear system from damage and sediment laden discharge.
- H. If installation of permanent stormwater facilities prior to general construction is not possible temporary structures are required.
- I. Any damage, i.e., erosion or silt build-up, that is attributed to any lot shall be repaired at the sole cost of the respective Lot Owner. Costs will include consulting and construction/clean-up fees.
- J. The Lot Owner shall ensure that all silt fencing, settling ponds, and other protective measures are in place prior to commencement of general construction.

5. LANDSCAPING

5.1 Multi-Family

- 1. For apartment and multi-family sites, landscaping should be used to define areas such as entrances to buildings and parking lots (short-term parking), define plazas and amenity areas, define the edges of incompatible land uses, provide transition between neighbouring properties (buffering), assist with treatment of stormwater, and provide screening for loading and equipment areas. Landscaping shall be a major visual element within the overall development. Landscaping, in concert with the stormwater management system, is the continuous thread, which ties the entire development together.

1. In addition to the requirements of The City of Calgary Land Use Bylaw, the following applies:
 - A. All required minimum front yard setbacks shall be landscaped.
 - B. All areas of the site not otherwise developed, shall be soft landscaped, with manicured tree and shrub beds, naturalized grassland or forest areas, or hard landscaped with rock mulch (limited areas — only where plant material is not appropriate), pavers or other porous pavements.
 - C. Remington Development Corporation shall be responsible for planting and maintaining of the roadway boulevard adjacent to the lot prior to lot development. Any damage to boulevard landscaping shall be repaired by the Lot Owner at his expense to the standards set by the City of Calgary.
 - D. Landscape materials shall consist of a variation of native and ornamental plantings capable of thriving in Calgary's climate. Trees, shrubs, ground covers, and naturalized grasses shall be preferred to flower beds, manicured sod, etc. For single detached residences, all sod front yards will not be permitted. A minimum of 35% of front yards must be planted with trees, shrubs or perennials. Rock beds are not permitted.
 - E. For apartment sites a minimum of 50% of landscaped area must be planted with shrubs and trees. Incorporation of naturalized plantings with native trees and shrubs is encouraged. The optimal location for naturalized plantings is adjacent to the stormwater facilities.
 - F. Winter appearance must be considered and material species chosen accordingly. Where landscape materials are used to provide screening, the coverage must be retained on a year round basis.
 - G. For apartment and townhouse sites, trees shall be planted in the ratio of at least one coniferous tree to every four deciduous trees (20% coniferous to 80% deciduous). A maximum of 35% coniferous trees will be permitted.
 - H. For multi-family sites (apartments and townhouses), one tree for every 45 m² of landscaped area must be planted (90 trees per acre). Permanent open water bodies up to the edge of the 'normal water level' boundary and patios, driveways, decks or sidewalks are not included in the overall landscaped area calculation.
 - I. For apartment and townhouse sites, the size requirement for deciduous trees in manicured planting areas is to be a minimum of 50% 75 mm caliper or larger and a maximum of 50% at 50mm caliper. Ornamental species may have a 35mm caliper. Native tree species (trembling aspen) shall have a minimum caliper of 35mm and a maximum caliper of 50mm. Native trees should be represented with an equal representation of sizes within this range (35mm, 50mm, 60mm, and 75mm).
 - J. For apartment and townhouse sites the size requirement for coniferous trees is a minimum of 50% at 3m in height and a maximum of 50% at 2.5m in height. Larch will be accepted as a coniferous tree but may not contribute to more than 20% of the total coniferous tree quantity. Larch may, of course, be included in the deciduous tree count.
 - K. For apartment and multi-family sites a minimum of four (4) shrubs will be required for every tree planted at a ratio of 25% coniferous to 75% deciduous (360 shrubs per acre). This does not apply to naturalized landscaped areas, which may have 100% deciduous shrubs. Multi-family landscaping will be evaluated on a submission by submission basis.

- L. Sod shall be uniform, healthy and free of disease and weeds.
- M. The native grasses mix shall be representative of the native grasses found in the region and may be augmented with deep-rooted and water tolerant species to assist with stormwater management. The mix shall contain no less than five different species and contain no invasive species or species not approved for use by the City (eg. smooth brome).
- N. All trees should be nursery grown material from Southern or Central Alberta and shall conform to the standards of the Canadian Nursery Trade Association. Native plant material may be transplanted from native stands and must be healthy, true to form and free of disease.
- O. All landscaped areas shall be finished with a minimum gradient of 2% to ensure positive drainage. A maximum gradient of 25% is permitted. Incorporation of a variety of topography, including berms, flat or sloped areas and depressions (for stormwater containment) are encouraged.
- P. The owner of the property, or their successor or assignees, shall be responsible for the proper maintenance of the landscaping including the roadway boulevard adjacent to their lot and any repairs to damage to the adjacent linear stormwater system caused by run-off from the site.
- Q. The owner of the property shall be responsible for annual payment to support and maintain the community's stormwater management system.
- R. A Landscape Plan shall be required as part of the Design Review process.
- S. All site furnishings, lighting, waste receptacles, raised planters, bike racks, tree guards, benches, ash receptacle, fencing and bollards shall be products as specified by Remington Development Corporation. See Appendix A – Site Furnishings.

6. ON SITE PARKING AND LOADING

- 1. In addition to the requirements of The City of Calgary Land Use Bylaw, the following applies:
 - A. For apartment sites, all front and side areas used by vehicular traffic must be graded, paved (porous surfaces acceptable) be drained and be complete with gutters and concrete curbs, to be maintained at all times. Curbs and gutters may have a flat profile to allow drainage to enter into traffic islands, bio-swales, or landscaped areas.
 - B. All parking, whether for visitors or employees, shall be provided on site.
 - C. For apartments, extended vehicle parking or storage is not allowed in front of the principal building. All vehicles stored for an extended period are to be located in garages or below-ground parking.
 - D. All loading areas must be visually screened with landscaping from public streets. Screening methods must be effective on a year-round basis.

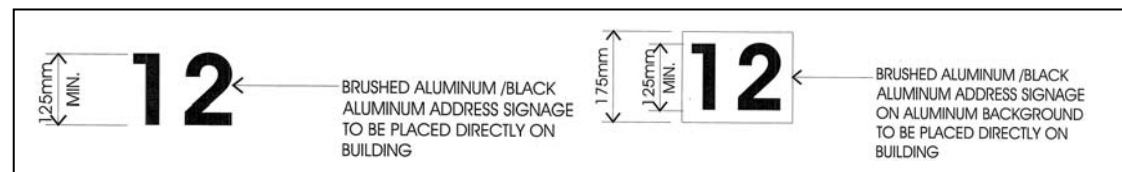
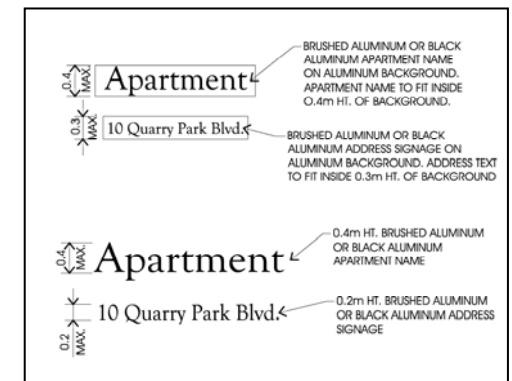
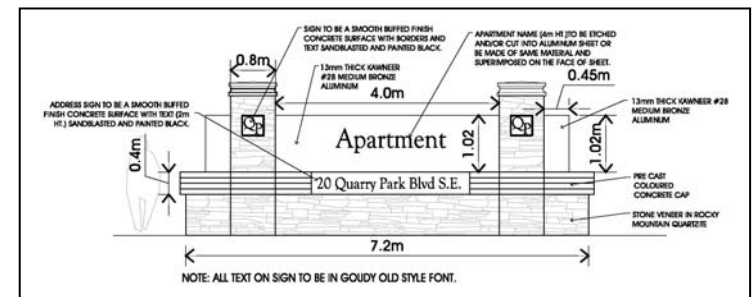
E. Quality directional signs shall be provided at all parking and loading facility entrances and exits.

7. SIGNAGE

1. Signage, along with landscaping, will help create a common element for Quarry Park single detached, apartment and townhouse development. Signage may be used to identify apartment sites and shall describe the project name and address and shall be placed on the building or separate identification signage.

A. Signage placed on separate identification signage shall follow the minimum design guidelines described herewith:

- a. Signs shall incorporate specified ledge-rock fascia and pre-cast concrete or stone caps.
 - i) Signs shall incorporate black and/or brushed aluminium identification signage as noted on the enclosed details.
 - ii) All residential lots shall have clear easily identified address numbers placed on the building or on identification posts. Numbers shall be a minimum of 125mm in height.
 - iii) Identification posts shall be constructed of ledge-rock with pre-cast concrete cap as noted on the enclosed detail.
- b. In addition to the requirements of The City of Calgary Land Use Bylaw, the following applies:
 - i) Illuminated signs may be approved provided they do not flash or rotate and there is limited spill of light away from the signage.
 - ii) All signage must be approved and shall conform to the requirement's of the City of Calgary Land Use Bylaw as well as noted below:



1. Where a building has sufficient frontage that two or more separate and distinct vehicular entrances are required, then additional and identical signs, complying with the above requirements, will be allowed at the rate of one per entrance.
2. Fascia signs will not be approved if they protrude above the roof level of a building to which they are attached. No external supporting structures such as struts, wires or braces shall be visible.
3. Individual identification signs on a building shall be approved providing:
 - (a) Bottom of signs are no higher on the building face than 3.2 m above the ground floor level, and
 - (b) There is not more than one sign per building unless otherwise agreed to by the developer.
4. No building shall rely on signage alone to distinguish individual entries. Signage shall only be used to identify a specific apartment or multi-family development, acting as a supplement to the entry design.
5. Signs affixed to the building may identify, by lettering and/or numbers the name, of the apartment development.

8. OUTSIDE STORAGE

1. In addition to the requirements of The City of Calgary Land Use Bylaw, the following applies:
 - A. For all dwellings no outside storage areas are permitted.
 - B. The architectural design of the storage areas must be integral with the building design, using the same materials and form.

9. LIGHTING

1. In addition to the requirements of The City of Calgary Land Use Bylaw, the following applies:
 - A. No external lighting fixtures shall be higher than the closest building parapet height.
 - B. Lighting should be used to highlight only the area required to receive light. Light spillage, particularly onto adjoining properties or into the sky, must be avoided.
 - C. Lighting design, which incorporates flood lighting of large areas of the site or building elevations, should be used in moderation. No light spillage will be permitted.

- D. Lighting is not to interfere with traffic safety.
- E. For apartment sites all pedestrian / public areas are to be well illuminated at ground level. Where appropriate, pedestrian scaled lighting should be employed.

10. PATHS AND WALKWAYS

- 1. Pathways and sidewalks will be placed throughout the development sites.
 - A. Lighting of footpaths and walkways within development sites should utilize low-level fixtures and provide subdued lighting. No fixture should exceed 3.6m in height.
 - B. On site pedestrian pathways may connect to the pedestrian walkway system serving the development. Most pathways are located within the linear stormwater management system. The Lot Owner is responsible for construction of any footbridges and paths required to tie into the pathway system from the site.

PART II — ARCHITECTURAL CODES

1. INTRODUCTION

- 1. The intent of the Architectural Codes is to develop an architectural character appropriate for the Quarry Park development and encourage a range of variety for multi-family residential townhouses and apartments while ensuring an underlying order.
- 2. The architectural styles promoted for use in Quarry Park are French Country and Georgian styles. Many of the urban elements, including entry features and fencing, incorporate the unique French Country characteristics and serve to tie the community together as a whole.

2. ARCHITECTURAL CODE APPROVAL PROCESS

- 1. In addition to the City of Calgary approval requirements, the Developer has established a review process to ensure compliance with the Codes. The Developer's representative (the "Representative") will examine each of the proposed residential structures. A "Reviewed and Accepted" stamp will be required prior to the owner/builder (the "Applicant") applying for a building permit from the City. After construction is complete the Representative will inspect the home or multi-family development to ensure compliance with the "Reviewed and Accepted" plans.

2. All applications for architectural approval are to be accompanied by the required and completed forms. Applications will not be processed until all required information is received.

2.1 Building Grade and Marketing Plans

1. The Representative will supply the Applicant with a grade plan and a marketing plan which will contain, among other information, the following:
 - a) Lot grades
 - b) Easements and/or right-of-ways
 - c) Construction setback line from top of bank (if applicable)
 - d) Garage location
 - e) Utility infrastructure

2.2 Review and Approval Process

1. All building designs must comply with the City of Calgary Land Use Bylaw and Building Regulations. In addition, Remington Development Corporation has developed a design review process to ensure that all the buildings conform to the planning objectives for the development as well as the Multi-Family Residential Architecture Design Codes developed specifically for Quarry Park.
2. The Applicant is to communicate with the Representative to review the initial proposal for the type of multi-family development being contemplated. This will initiate discussions between the two parties at an early stage in the design process and will allow the Representative to relay grading and design considerations that are particular to the site, to pin-point grading and design concerns at an early stage and to streamline the final review process.
3. Prior to the submission for a building permit, the City of Calgary will require a “*Reviewed and Accepted*” stamp from the representative certifying compliance with the Architectural Codes. Accordingly, the applicant shall provide two (2) complete sets of architectural plans, site plan, landscape plan and any other supporting information for review by the Representative. The cost of all plans and drawings required for the submission will be to the account of the Applicant. There is no cost for the review by the representative for the first review and one subsequent modification. Should further reviews be required, the cost of the reviews shall be borne by the Applicant.

QUARRY PARK MULTI-FAMILY RESIDENTIAL ARCHITECTURAL CODES REVIEW AND APPROVAL PROCESS

TASK	RESPONSIBILITY
Prepare and submit preliminary architecture and landscape designs and completed application	Applicant
Preliminary plan review by the Representative and comments back to the Applicant	Representative
Complete detailed design incorporating revisions	Applicant
Submit site plan and architectural plan to the Representative for final review and approval	Applicant
Approved plan receives “Reviewed and Accepted” Stamp	Representative
Development Permit Application to City of Calgary c/w Copy of Site Plan	Applicant
Development Site Servicing Plan Application to City of Calgary	Applicant
Building Permit Application to City of Calgary c/w Copy of Site Plan	Applicant
Issue Building Permit	City of Calgary
Footing Check by Surveyor	Applicant
Final Inspection by the Representative – identify deficiencies	Representative
Resolve deficiencies	Applicant
As built grade confirmed by Survey	Applicant
Final Acceptance Notice	Representative
Submit Landscape Plan	Applicant
Preliminary Review	Representative
Complete detailed design incorporating revisions	Applicant
Approved plan receives “Accepted/Approved with Revisions” stamp	Representative
Inspection of completed work – identify deficiencies	Representative
Deficiencies resolved	Applicant

2.3 Design Review Process

1. The Applicant shall submit for final approval, two copies of the following information to the Representative for Architectural Control:
 - a) Drawings of the multi-family development plans, elevations and sections at 1:50 metric or, 1/8" = 1'-0" scale.
 - b) A site plan, at 1:200 scale (metric), which shall include site grades; elevations for the actual top of footing, main sub-floor, and other important sub-floors, retaining wall locations and grades, and lot drainage patterns and all of the locations and grades, and lot drainage pattern and all of the requested information listed on the house plan approval form.
 - c) A landscape plan, at 1:100 or 1:200 scale (metric), which will include all plant material and plant list.
 - d) A completed application form for multi-family plan approval indicating colours, material, and other specific information as requested on the form. Colour chips may also be required to clarify colour schemes. (See back of Codes document for blank Application Form.)
2. The Representative, after thorough discussion with the Applicant, will review the submission and recommend approval, modification or rejection of the application based on the adherence of the plans to the Architectural Codes. The Representative for future reference will keep the original application form and one set of marked prints. Depending on the nature of any changes, the Representative may charge the Applicant a fee for the extra work caused by the changes.
3. Upon approval, the Applicant can then make submission to the City of Calgary for a Development Permit, Development Site Servicing Plan and Building Permit where applicable.
4. It is pertinent that the Applicant does a pre-construction inspection report prior to commencement of work done on the lot. This report should be forwarded to Remington Development Corporation to be kept on file. If no pre-construction inspection is done, the Applicant assumes responsibility for the condition of the lot, sidewalks, curbs, water valve, etc.
5. The Representative will carry out periodic on-site inspections during construction to ensure compliance with approved plans. Modifications may be requested in writing to accommodate changes related to actual site conditions.
6. Upon being advised by the Applicant of completion of the multi-family development, a final inspection will be carried out by the Representative who will confirm conformance to the Codes and the approval previously granted. Upon receipt of the final inspection form, the security deposit refund will be calculated, or a list of deficiencies will be issued which the Applicant must complete prior to release of the security deposit. The Applicant will immediately rectify all deficiencies and request a second site inspection by the Design Consultant. The refund payment will be made in accordance with the provisions of the purchase agreement.
7. In order to maintain the standard required the Building and Lot Development Control process is fair but stringent. Acceptance of any design, the interpretation of any of the enclosed Codes, or amendments to the Multi-Family Residential Architectural Codes will be at the sole discretion of the Representative whose decisions will be final. Requests for exceptions will not be granted at the expense of quality but may be justified in terms of circumstances of alternate, similar, or better quality. It is recommended that Applicants submit preliminary drawings for discussion purposes to avoid rejection of completed drawings. This is especially important for townhouses, apartments, custom homes, or homes situated on lots with unique or unusual configurations, as well as, visual, topographic, or orientation features.
8. All site landscaping must be completed as per approved plans by the end of the first full growing season after building construction is completed.

2.4 Site Planning

1. Each apartment and townhouse complex shall be designed to take maximum advantage of the natural and man-made characteristics of the lot, including slope of the land, the relationship to neighbouring houses, and the relationship to the street. Sitting and layout should minimize over viewing and overshadowing of adjacent lots.

Setbacks

In addition to the minimum setbacks for all yards established by the City of Calgary RM-1, RM-4/125, RM-5, and the DC Direct Control District Zoning Bylaws established within Bylaw 79Z2006 and contained within the Appendix, the following minimum guidelines shall apply:

Front Yards

Lot Types	Setback
• RM-1	3.0 m (10'-0) minimum from Property Line
• RM-4/125	3.0 m (10'-0) minimum from Property Line
• RM-5	3.0 m (10'-0) minimum from Property Line
• DC Site 4 (RM-6)	3.0 m (10'-0) minimum for buildings up to three storeys in height and 6.0m (20'-0) minimum for buildings over three storeys in height.
• DC Site 5 (RM-5)	3.0 m (10'-0) minimum from Property Line

Rear Yards

In addition to the noted setbacks, rear yard setbacks shall conform to the setbacks established for each Multi-Family Residential Site, as prescribed by the registered setbacks and caveats pertaining to the Floodway Protection and utility easements located within lots located adjacent to the Bow River.

Lot Types	Setback
• RM-1	6.0 m (20'-0) minimum from Property Line
• RM-4/125	7.5 m (24'-6) minimum from Property Line 5.0 m (16'-4) minimum where abutting a lane
• RM-5	7.5 m (24'-6) minimum from Property Line 5.0 m (16'-4) minimum where abutting a lane

- DC Site 4 (RM-6) 7.5 m (24'-6) minimum from Property Line
- DC Site 5 (RM-5) 7.5 m (24'-6) minimum from Property Line
5.0 m (16'-4) minimum where abutting a lane

2.5 Lot Grading & Retaining Walls

1. Building and site grades, as specified on the Building Grade Plan by the Project Engineers, are to be strictly adhered to in order to avoid unnecessary or excessive variations in eave heights and rooflines and to ensure a consistent streetscape. Grading, drainage, and retaining walls are to be the responsibility of the Builder/Owner. Final grading and loaming of lots must be completed prior to the release of damage deposits.
2. Lot grading is to follow the natural slope of the land form and lot slopes should be absorbed within the building massing as much as possible (stepped foundations) in order to minimize the need for grades steeper than 3:1. Finished grades should be adjusted so that a maximum of 450 mm (1'-6) of parging is maintained on all elevations. Minimum lot slope must be restricted to 2% and maximum slopes must be restricted to 25%.
3. The Engineering Consultant will indicate where retaining walls are required (if not indicated on the site plan). Any retaining walls that are shown on the site plan either by the Builder and/or the Representative are the responsibility of the BUILDER/OWNER. Any disputes that may arise regarding responsibility for retaining walls are to be resolved prior to final acceptance of the lot grading, Remington Development Corporation will mediate and assign responsibility of the cost.
4. Retaining walls should be avoided wherever possible. However, if a retaining wall is deemed necessary, then it shall be constructed so as not to exceed an exposed height of 1.2m (4') unless it can be proven that a higher wall is necessary. If the wall is to be more than 1.2m in height it should be stepped, so as to reduce the wall's visual mass. All retaining walls that are constructed shall meet the City of Calgary Land Use Bylaws. Permits will be required for walls exceeding 900 mm (3'-0) in height.
5. It is recommended that retaining walls, when required, are to be constructed using natural materials, i.e., sandstone boulders, rundle rock or river rock (mortar). Retaining walls not constructed from natural materials should be constructed with a visually aesthetic material, i.e., pre-cast concrete, or concrete with a stone or brick facing in keeping with the preferred architectural style. Concrete wing walls will be acceptable and require Architectural Design Approval.

2.6 Lot Drainage

1. The Builder shall maintain lot line drainage strictly in accordance with the grading plans as approved by the City of Calgary and will maintain and not interfere with any drainage structure that has been or may be constructed. It is an offence under the City of Calgary Bylaws to discharge overland drainage onto an adjacent lot. All surface water must be discharged either to the street or to the stormwater system within the confines of each lot. The Builder acknowledges that more specific drainage requirements may be registered against title.

2.7 Unit Orientation

1. Where multi-family developments front onto street, main floor units shall have front doors oriented to the street.

2.8 Fencing

1. Remington Development Corporation will provide rear yard fencing adjacent to the Bow River all other fencing is the responsibility of the Project Developer. Front yard and side yard fencing is optional.
2. Fences in front yards and side yards will be permitted but must be constructed of picket or wrought iron to a maximum height of 1.0m (3'). Front yard fencing should be painted to match the developer installed fencing. Fencing style should conform to the architectural style of the lot.
3. The accompanying exhibits demonstrate the types of fencing allowed within Quarry Park.

ARCHITECTURAL STYLES

2.9 Theme

1. Residential development shall incorporate an architectural theme consistent with that described in the Architectural Codes. In general:
 - A. All colours, materials and finishes are to be coordinated on all exterior elevations of the buildings to achieve total continuity of design.
 - B. All buildings shall be faced with materials, which exhibit a durable permanent quality appearance. Materials should not stain easily, either due to atmospheric conditions or when used in combination with other materials. Materials should be of a low maintenance type retaining a consistent clean appearance. Good quality materials include but are not limited to: Glass, Masonry (Brick, Split-face Block, or Stone), Pre-cast Concrete, Metal, Composite Panels, and Acrylic Stucco.
 - C. Buildings shall have architectural features and patterns that are visually interesting, that reduce massive aesthetic effects, and recognize local character.
 - D. Colours proposed will be a major consideration of design approval. All colour schemes must be submitted for approval and shall include samples of all finishes.
 - E. If sloped roofs are used, they must be finished with wood, architectural asphalt or rubber shakes, concrete, stone, or metal roofing materials.
 - F. Stormwater roof storage structures and green roofs are very desirable for this development and are encouraged for all sites, as long as designs conform with the architectural styles.
 - G. For all apartment sites, all rooftop mechanical equipment shall be concealed by screening in a manner compatible with the architectural character of the building or concealed by incorporating it with the building roof so that it is not seen from ground level.
 - H. Any mechanical equipment (i.e., dust collection system) that sits outside of the building must be located at the back or side of the building or adequately screened.

2.10 Rules Applied to All Styles^{1,2}

2.10.1 GENERAL

1. These codes have been established to provide a clear idea of the design intent for apartments, townhouse residential buildings in Quarry Park.
2. Every design proposal must be reviewed by Remington Development Corporation or their Representative to determine the appropriateness of the submission to the given site.
3. The submission of a proposal of significant architectural merit may minimize the necessity for adherence to specific items from these Codes.
4. Remington Development Corporation or their Representative reserves the right to limit the repetition of details, materials and colours between adjacent houses.
5. Variance from the Codes is at the discretion of Remington Development Corporation.
6. These Codes shall apply to apartments and townhouses, including any outbuildings.
7. Remington Development Corporation reserves the right to modify these Codes.

2.10.2 ELEVATIONS

1. Rules governing the composition of the building elevations shall be followed for each specific style.
2. Developments occupying corner lots, or having elevations which face public spaces such as parks or pedestrian walkways shall be considered to have two principal elevations. The flanking street elevation shall be composed and detailed with equal care and attention to that of the front elevation.
3. Townhouses of different styles shall have a change in roof line. The front elevation of units must be stepped forward or behind the elevations of adjacent units.
4. Skylights are to be flat ONLY, and shall not be visible from the street.
5. Vent stacks, roof vents and other mechanical protrusions shall not be visible from the street excepting fireplace chimneys which must be boxed in and clad to reflect the architecture.

¹ © Jenkins & Associates Architecture & Town Planning Ltd., Garrison Woods Architectural Codes: I. Building Forms G1 and G2 August 2001, II. Building Elements G3, G4 G5, August 2001, III. Building Elements G6, G7, G8, G9 March 1999 utilized as a basis and/or modified for use in Rules as defined by IBI Group.

² © 1984 Virginia & Lee McAlester, Field Guide to American Houses, Pgs 141, 142, 143, 354, 355, 357, 359, and 455 sketches utilized as a basis and/or modified for use to illustrate Styles as defined by IBI Group.

6. No two buildings on the same frontage shall have the same or substantially similar elevations.
7. Buildings on the same frontage shall not have the same colour schemes.

2.10.3 WALL MATERIALS

1. Stone – approved local types and patterns of laying; approved local types and colours of grout.
2. Brick – approved types, colours and local patterns of laying; approved local types and colours of grout.
3. Stucco – acrylic stucco; smooth sand or sprayed finish; textured finishes are NOT permitted.
4. Pre-finished hardboard siding. Styles and colours to be submitted for approval. Vinyl in general is not permitted as a siding material but will be reviewed per approval for small areas only.
5. Exposed foundation walls shall be clad in stone (real or simulated), brick, or smooth stucco (parging). On brick or stone clad houses, the face of the foundation wall shall be built out a minimum of 50mm (2") beyond the face of the wall above and appropriately capped to emphasize the base of the building.
6. No wall material changes will be permitted to occur along vertical or diagonal lines except to differentiate towers, bay windows, and rear additions.
7. All elevations of the main body of the multi family development shall be clad in the same material, or combinations of materials, and be similarly detailed.
8. Gables on top of brick or stone walls may be finished in brick, stone, or stucco. Wood or wood shingles may be approved at the discretion of the Representative.
9. Mortar colour is to accent the wall mass of masonry/stone construction. Mortar colours are to be submitted for approval.
10. Base material and heights are specified by style. A building base is used to visually ground the building.
11. When a building base is used on a front elevation, it must be continuous across the entire facade, except for porches clad in a different material.

2.10.4 ROOF MATERIALS

1. Natural slate.
2. Natural standing seam copper or zinc.
3. Flat profile ("slate") concrete and clay tiles, approved colours only.
4. Architectural asphalt and/or rubber shingles, approved styles and colours only.
5. Vent stacks, roof vents, and other mechanical protrusions shall be painted the colour of the roof.

2.10.5 BAYS

1. May extend a maximum of 0.6m beyond the front face of the building. Bay may be a maximum 2.4m in width on front elevation.
2. Main floor bays may not visibly cantilever on front elevations and must extend completely to grade; second floor bays must be supported by brackets, located above a porch, or as otherwise indicated in each style guideline.

2.10.6 PORCHES AND STOOPS

1. Small Porch: a small, highly detailed porch which highlights only the front entry; shall have a minimum area of 2.3 sq m (25 sq. ft.); may have hipped, gabled, barrel, or flat roof if the flat roof is accessible as a balcony; roof types are dependent on specific house types.
2. Side Porch, Side Entry Conditions Only: on lots having a 1.8m sideyard setback and greater, a porch may extend down the side of the house to access an entry located on that side. Side porches may not encroach into the required sideyard setback EXCEPT on corner lots.
3. Stoop: built of concrete, faced in brick or stone, are acceptable on the Georgian Style, and must provide a landing area of 2.3m^2 (1.5m x 1.5m) [25 sq. ft. min. (5' x 5')] – 3.3m^2 (1.8m x 1.8m) [36 sq. ft. max. (6' x 6')].
 - i) The smallest useable porch depth dimension shall be a minimum of 1.5m. 1.8m is encouraged.
 - ii) All porches must be detailed to include an entablature above the columns. The entablature (beam and fascia) is to continue on all exposed sides of the porch. See specifics under each style.
 - iii) Porch steps shall be detailed in the same material as the porch itself.
 - iv) Where wood floors on porches are used, steps shall have closed risers and cut stringers with overhanging treads.
 - v) Porches may be left open, or may be enclosed by screened or glazed sections. If enclosed, it must be detailed as carefully as a columned porch with infill screen or glazing panels to match the windows of the house.
 - vi) Prefabricated concrete stoops are encouraged to be faced in brick, stone, or coloured concrete to match the building base material.
 - vii) Stoops may be roofed by a canopy supported by brackets, cables, or chains; the design of the canopy and its support system must be in keeping with the architecture of the house.

- viii) Commercial style metal/fabric awnings are not permitted.
- ix) Porches and decks visible from the street shall be skirted in the same material as the building base (concrete parging is NOT acceptable). Vinyl siding is NOT permitted.

2.10.7 CHIMNEYS

1. Must be brick or stone if the house is clad in brick or stone.
2. May be brick, stone, or smooth stucco if the house is clad in stucco.
3. Chimneys shall have a minimum horizontal cross section area of 1.1m² (12 sq. ft.) at the base of the chimney.
4. Visible cantilevers are NOT permitted. Chimneys must extend completely to grade, or any cantilevered portion must be concealed.
5. Chimneys are encouraged. Built out fireplace 'bays' will not be permitted unless it appears as a traditional chimney form.
6. Vent stacks are not to be visible from the street.
7. Flashing on chimneys should match the colours of the capping used on the chimney.

2.10.8 WINDOWS AND DOORS

1. Proportions of allowable front facade glazing shall be specific to each architectural style.
2. All windows are to have a vertical proportion, although they may be composed of square sections.
3. Casement, double-hung, and single-hung are appropriate window types; accompanying non-opening windows must match the profile and detail of adjacent opening windows.
4. Windows may be built of wood, vinyl, or metal and may be painted, stained, or clad.
5. Use of figured or frosted glass only with prior approval.
6. Tinted glazing is NOT permitted in windows facing the street; except approved stain glass.
7. Muntin bars are encouraged to be of the same material and finish to match the window sash and frame, and may occur on the outside of the glass panes only, or on both the inside and the outside of the window. Use of muntins is dependent on architectural style.
8. All window lights created by muntins are to be square or vertically rectangular in proportion, including transoms.
9. Feature windows (i.e., circular, elliptical, octagonal, gothic) may be used only ONCE on the front elevation of each unit. Locations for these windows are specific to each style.
10. Shutters may be used, specific to each style. Fully operational shutters are strongly encouraged. If shutters are decorative only, they must appear in the exact same proportions as they were operational. Shutters are to be used consistently on all windows.

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11. Shutter styles shall be submitted for approval.
12. Main front entry doors may have glass panels, glass sidelights, or both.
13. Metal sliding patio doors are NOT permitted on elevations visible from the street..
14. Glass block may be used on side elevations of multi family projects not facing a street when fire code restrictions apply. The proportions of the glass block opening are to be vertically rectangular or square. NO stepped patterns will be permitted.

2.10.9 COLUMNS

1. Column proportions and styles shall be subject to the approval of Remington Development Corporation.
2. Half-columns (columns cut in half and placed against a wall) are NOT permitted. Full columns shall be used only.
3. The use of pilasters or buttresses are specific to each style, and are not to be confused with half-columns.
 - A. Classical:
 - Fluted or unfluted,
 - Doric, Ionic, Tuscan styles,
 - Double Doric, Double Ionic, Double Tuscan,
 - Proportions according to classical principles (1:8 width:height).
 - B. Vernacular:
 - Wood post, minimum 150mm square, corners chamfered, singly or grouped,
 - Built-up, tapered wood columns, minimum 200mm square (as per local examples),
 - Brick or stone, (real or approved simulated), continuous all sides.
 - C. Composite:
 - Brick, stone, or shingle clad wood plinth with:
 - i. Classical columns above, singly or grouped (most common),
 - ii. Wood posts, or wood columns above (as per local examples),
 - The plinth shall match the height of the porch balustrade.

2.10.10 BALUSTRADES

1. Where the porch is less than 600mm above grade, balustrades shall function as a sitting rail, minimum height of 450mm and maximum height of 600mm above the floor of the porch.
2. Sitting rails shall be a minimum depth of 150mm and a maximum depth of 300mm.
3. Wood, painted steel, wrought iron, or vinyl are acceptable.
4. Must be consistent in design and materials with the architecture of the house.
5. Wood balustrades must have corner newel posts of 150mm minimum diameter/width when there are no columns at the corners.
6. Intermediate newel posts are required in balustrade lengths greater than 2.4m.
7. Newel posts are required when there is a turn (or corner) in the balustrade, and there is no column.
8. Newel posts shall be detailed similarly to the columns used. The skirting of the porch shall be detailed below the newel post the same as below a column.
9. Balustrades shall be spaced to meet Alberta Building Code minimum requirements.
10. Wood balustrades shall have 50mm x 50mm wood spindles.
11. Metal balustrades shall be 19mm diameter verticals minimum.

2.10.11 SOFFITS AND TRIM

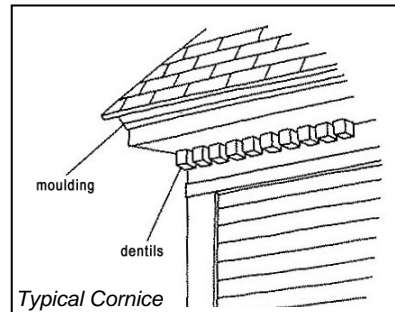
1. Trim shall be used on all types, stained or painted. Trim shall include: simple door and window surrounds, cornices and sills; corner-boards and horizontal battens; frieze and cornice detailing; bargeboard; top trim plates on plinths.
2. Soffits shall be pre-finished aluminium, wood or pre-manufactured wood on the underside of porches or stoops. Aluminium is permitted everywhere else.
3. Fascia shall be of Hardy Plank, wood, composite or aluminium.
4. Trim shall be a minimum of 100mm and a maximum of 150mm around all windows and doors with variations as noted with each style.
5. Corner boards to be 100 – 150mm. Corner board are to be wider than or equal to the profile of the siding.
6. Horizontal material changes shall be separated by 100mm trim boards. In cases of brick or stone used below other materials, the brick or stone shall be topped by a brick, stone, or precast concrete coping.
7. Stucco trim or raised stucco detailing will be permitted on a lot-by-lot basis.
8. Bargeboard shall be 200 mm minimum.
9. Cornice mouldings or trim boards shall always be used where a wall meets the underside of an eave.
10. Dentil block, or other similar trim detailing, shall be used ONLY with the cornice moulding and with appropriate style.
11. Eavestrough and downpipes are to be minimized on front elevations, and are to be arranged symmetrically. Flashings are to be minimized on front elevations, and to be painted to match trim.
12. Trim and batten boards must have a minimum thickness of 25mm greater than adjacent wall cladding.
13. Manufactured wood and wood soffit ventilation strips are to be linear.

2.11 Georgian Style

2.11.1 IDENTIFYING FEATURES

Georgian Style is a form of Colonial Architecture developed in the 1700s. Variations of Colonial Style are common in Calgary's established inner-city neighbourhoods. Georgian Style is characterized by the following:

1. Paneled front doors, usually centered with an entablature or decorative crown. Often a row of decorative glass is situated between the top of the door and the entablature.
2. Supporting door frame with flattened columns or decorative pillars.
3. A decorative moulding on the cornice, usually a dentil detail.
4. Double hung windows with nine to twelve panes per sash separated by thick muntins.
5. Windows are usually hung symmetrically, both vertically and horizontally and are often paired. Windows are always separated by wall space. There are usually five ranks of openings across the facade, occasionally three or seven.
6. Roof styles may include side-gabled, gambrel, hipped, centered gable, or townhouse variations. The majority incorporate the side-gabled style. Roof overhangs are usually minimal with a maximum extension of 300mm.
7. Dormers are common and usually placed in alignment with opening placements below. Dormers are always pedimented.
8. Windows are often shuttered; although not necessarily.
9. The main body of the structure is usually clad in brick or siding. For the purposes of this control document, building structures shall be clad in brick and/or stucco.



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Georgian Style townhouse with the addition of a triangular gable and covered patio.



The main floor window deviates from the Georgian Style but is acceptable in this situation.

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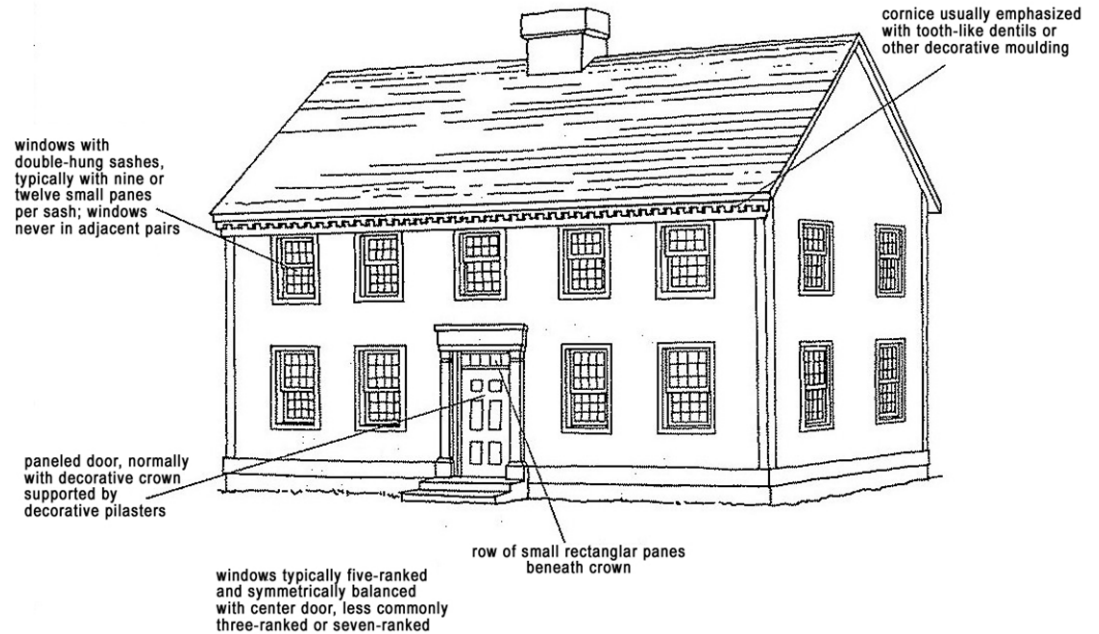
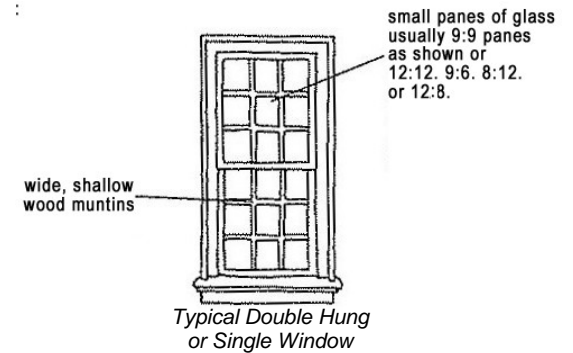
2.11.2 DETAILS

1. Cladding:

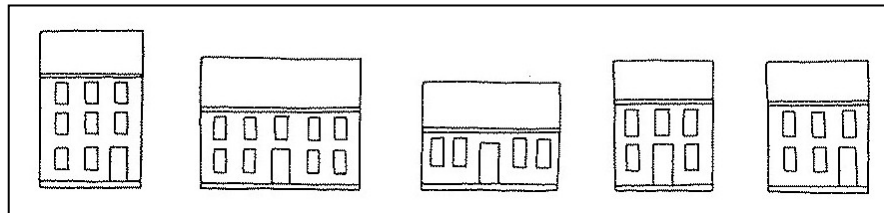
- a) Brick, stone, or stucco siding. Wood or vinyl siding are not permitted.
- b) Wood, wood composite, vinyl and aluminium are permitted for details, trims, and moulding.

2. Windows:

- a) Bay windows are permitted on the main floor. Cantilever bays are not permitted.
- b) All second floor windows must meet traditional Georgian spacing and style requirements.
- c) All windows must be pediment with brick or stone, other materials will be approved on a submission by submission basis.
- d) Vinyl or aluminium will be permitted providing style matches.
- e) Windows shall have a proportion of x width by 2x in height.
- f) Windows shall be double or single hung.
- g) Windows shall have 9 or 12 panes with muntins per window.
- h) Upper floor windows may not be paired and must be separated by at least the width of the window.
- i) Main floor windows may be gauged in groups of two or three.
- j) A grid pattern in window placement is desired.



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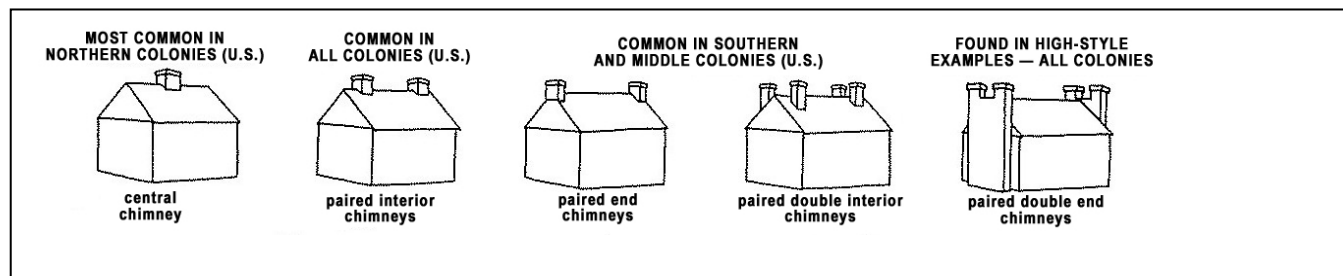
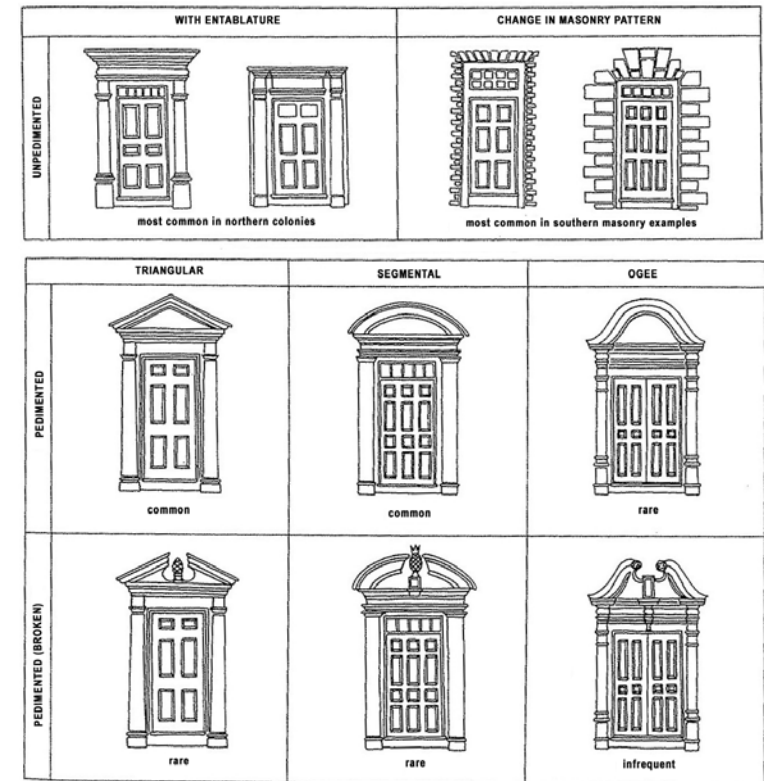
Windows are hung symmetrically, both vertically and horizontally. Door is centered or offset

3. Doors:

- For apartments and townhouses all main floor units must have front doors facing the street.
- Small landings are permitted but not porches.
- Door frames shall always be pedimented and framed with columns or decorative columns or have an entablature at least 300mm thick.
- Doors shall be panelled.
- Sidelights are permitted.
- Elliptical or rectangular transom window above the door is recommended between the door and entablature or pediment.

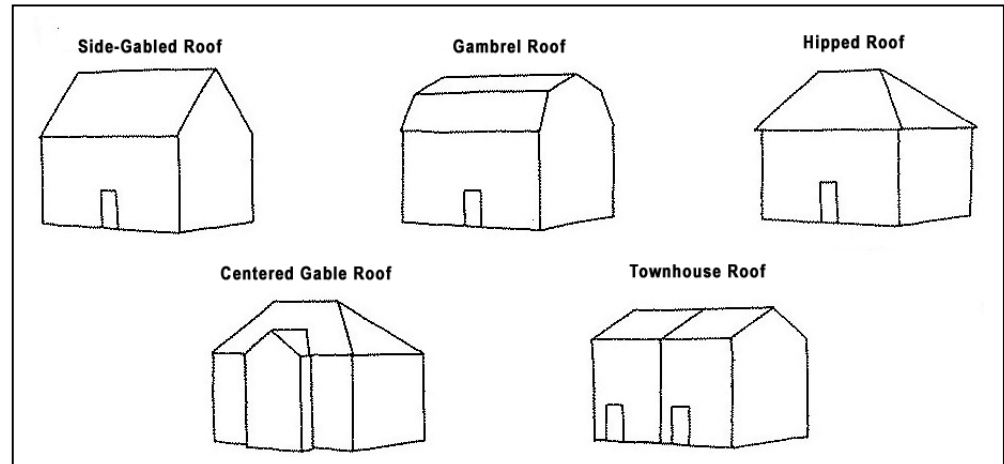
4. Chimneys:

- Chimneys shall always appear on the side elevation, never the front elevation. Central chimneys may be approved.



5. Roofs:

- a) Roofs shall be side gable, side gable with parapet wall or hipped.
- b) Roofing materials may be smooth sawn wood shingles, architectural asphalt, rubber, concrete tile, natural slate, copper or zinc. Approved material, style, and colour at discretion of the Representative.
- c) Minimum roof pitch permitted is 8:12. Steeper pitches are encouraged.
- d) Maximum eave overhang shall be 300mm.
- e) Fused parapet walls shall extend above roof a minimum of 200mm and a maximum of 300mm.
- f) The fascia board shall be a minimum of 200mm and a maximum of 300mm.
- g) The bargeboard on gable ends shall be a minimum of 200mm and a maximum of 300mm.
- h) Dormers shall be constructed of the same material, have the same slope, and have the same overhang as the roof.

**6. Porches:**

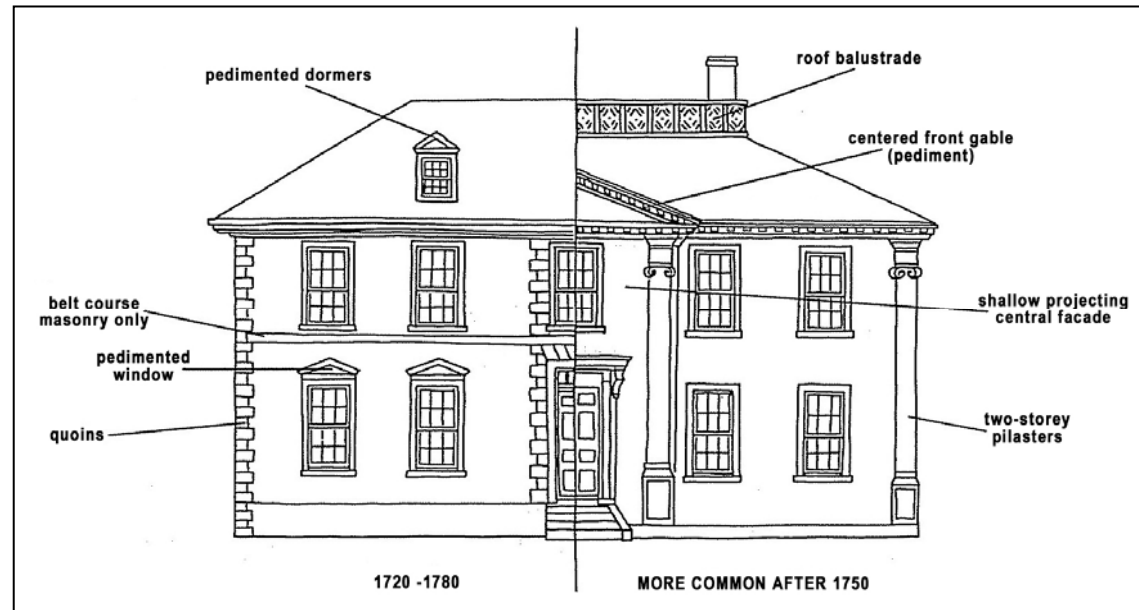
- a) For apartments and townhouses porches may be permitted but must be limited in size and cannot extend across more than 50% of the facade for any two units.
- b) Porches must be organized symmetrically with single or double columns.
- c) Flat, center gable, or hipped roofs are permitted with porches only.
- d) Porch roof pitch must match pitch of roof.
- e) Porches shall be a maximum of one storey in height.
- f) A minimum entablature of 300mm is required and must match the roof cornice detail.
- g) No brackets or braced supports are permitted.

7. Shutters:

- a) Shutters are optional. If used, each shutter shall be one half ($\frac{1}{2}$) the width of the window. Fully functional shutters are recommended.
- b) Shutters used on ganged windows shall have a width equal to the width of one window.

8. Columns and Pilasters:

- a) Columns and pilasters may be fluted or unfluted.
- b) Columns and pilasters shall have the proportion of 1:8 width:height with a minimum width of 240mm.
- c) Styles permitted include Doric, Ionic, Square, Tapered, Tapered Box, and Chamfered Box.



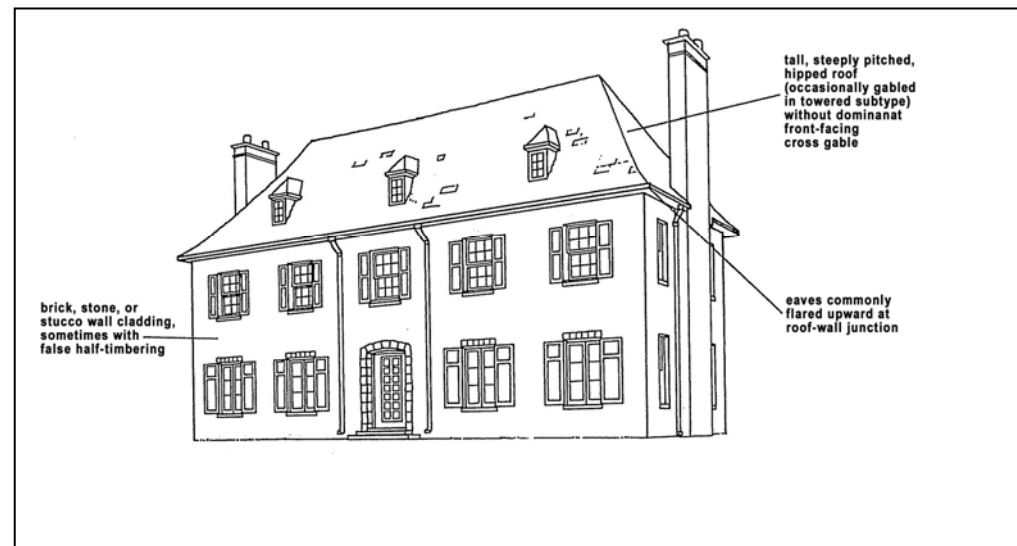
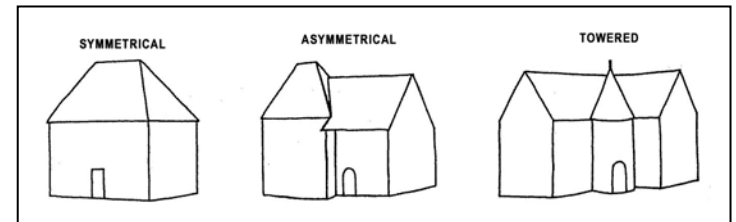
2.12 French Country Style

2.12.1 IDENTIFYING FEATURES

The French Country Style, originally developed in the 1920s and 30s in American suburbs, was rarely seen in Calgary until more recently and is becoming a more popular style. Use of variations of this style lend a wonderful sense of history and European texture to a neighbourhood. The primary characteristics displayed by French Country Style include:

1. Tall steeply pitched hipped roof without a dominant front facing cross gable.
2. Eaves commonly flared upward at the roof-wall junction.
3. Brick, stone, or stucco wall cladding. Often decorative half timbering is used.
4. Form can be symmetrical or asymmetrical. Use of round towers with conical tops is common.

French Country is similar in many ways to Tudor Style, especially with regard to window dimension and style, doors, chimneys, and dormer characteristics. The main variation is the lack of dominant front-facing gables characteristic of Tudor.



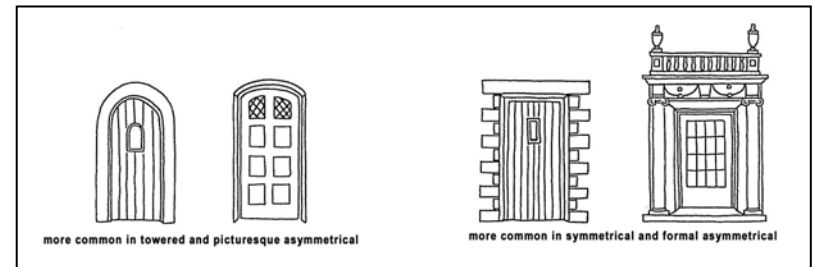
2.12.2 DETAILS

1. Cladding:

- a) Approved materials include smooth or sprayed stucco, stone, and brick.
- b) If used, half timbering may be stucco or wood. Other materials may be presented for review and approval
- c) Materials are often mixed. Combinations of stone, brick, and stucco are recommended.

2. Roof:

- a) Roof pitch shall be 12:12 or greater.
- b) Eaves with flare at wall interface are preferred. However straight eaves are acceptable.
- c) Roof materials may be wood shingle, slate, tile (slate style), rubber (tile style), architectural asphalt, or metal (slate style).
- d) Eaves shall be between 300mm and 450mm.
- e) The hipped roof should be incorporated into the design.
- f) For multi-family construction a mansard roof is acceptable.



Doorways

3. Doors:

- a) Doors may be set in simple arches, half pilasters or simple trim.
- b) Front porches are not characteristic of the style. Landings should be kept to 4m² or smaller.

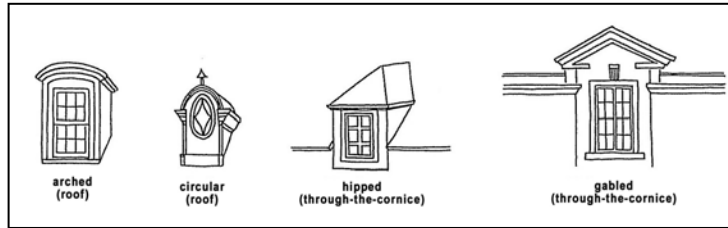
4. Windows:

- a) Windows may be single, double-hung, or casement.
- b) Muntins may be used.
- c) Generally windows are 2.0x to 2.5x in height to x and are gauged in two's, three's or greater. Full length windows are acceptable.
- d) Windows are placed symmetrically.
- e) Shutters are acceptable.
- f) For multi-family units walk-out balconies above the main floor are permitted. Railings shall be ornamental wrought iron or equivalent.

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- g) No pediments are permitted. A wider extended trim board at the base of the window is acceptable but not required.
- h) A key stone or central flared element above the window is occasionally used with this style and is acceptable.

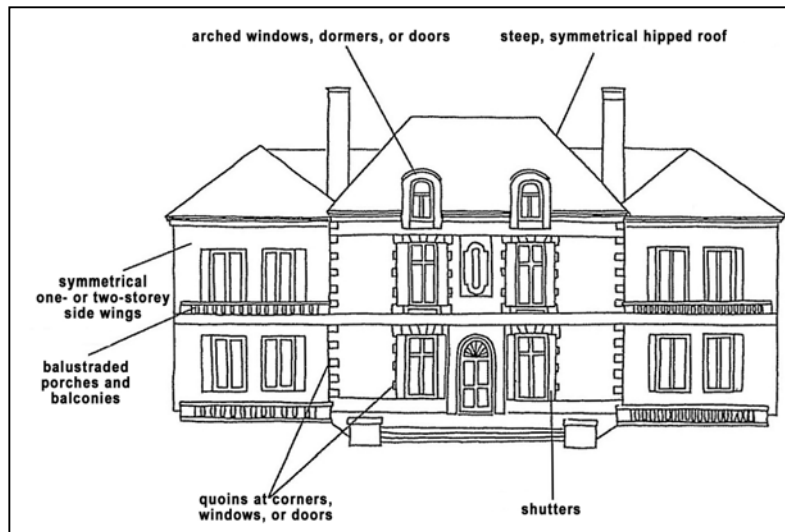


5. Dormers:

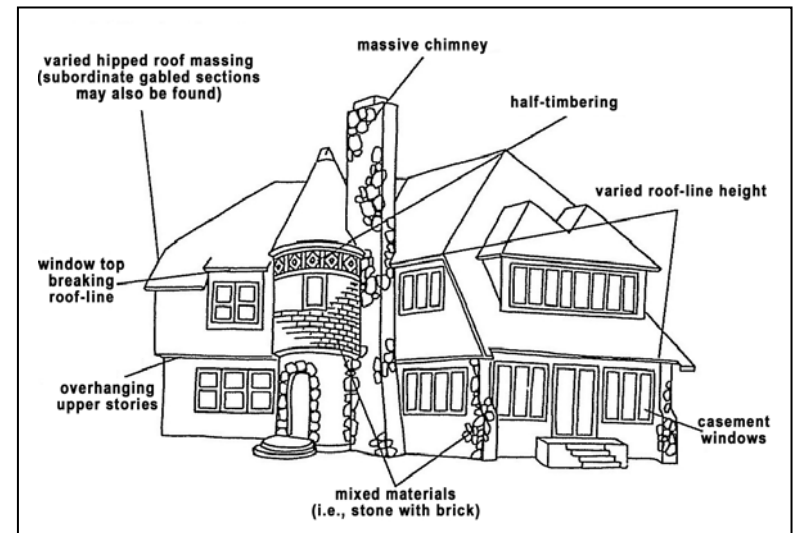
- a) Dormers are usually small and may take on many styles including arched, circular (oval), hipped or gabled.

6. Chimneys:

- a) Chimneys are usually placed on a side wall.
- b) Chimneys should be massive extending from base to above the top of the hipped roof.



More Common in Symmetrical



More Common in Towered & Asymmetrical

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QUARRY PARK



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QUARRY PARK



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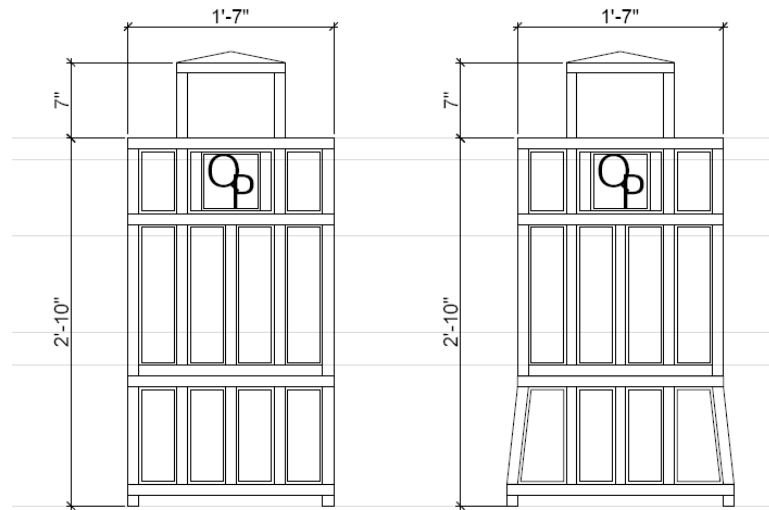


APPENDIX A

SITE FURNISHINGS

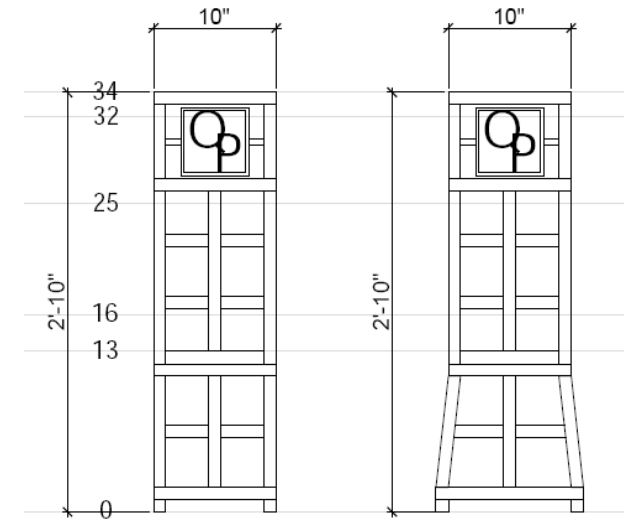
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MULTI-FAMILY RESIDENTIAL DESIGN GUIDELINES & ARCHITECTURAL CODES
QUARRY PARK



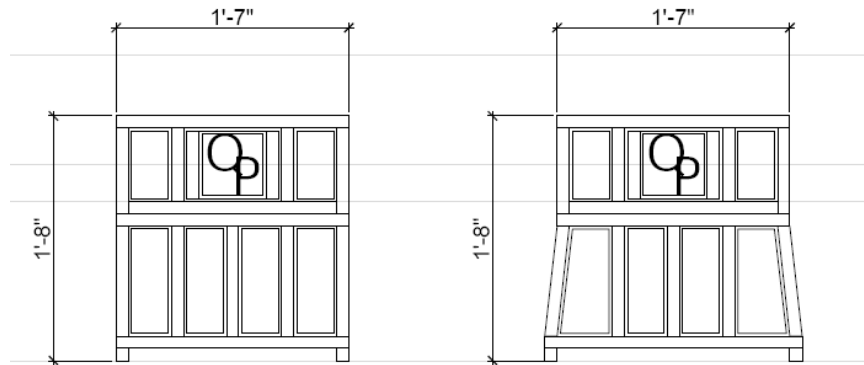
Waste Receptacle C

Waste Receptacle D



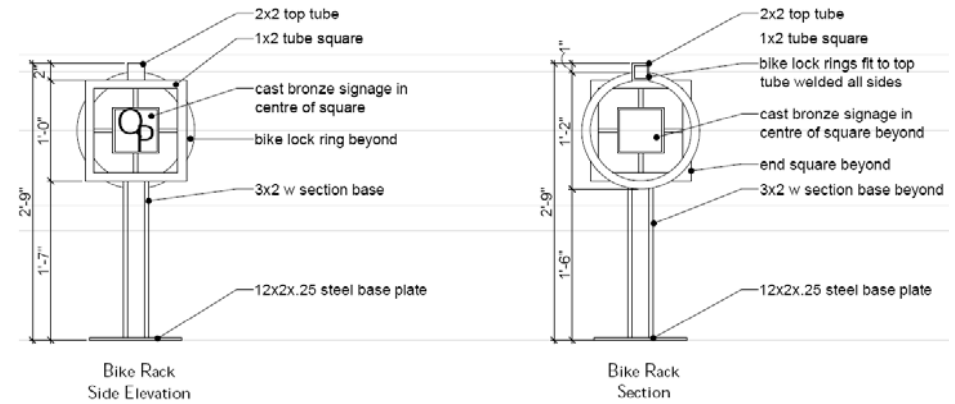
Tree Guard A

Tree Guard B



Planter C

Planter D

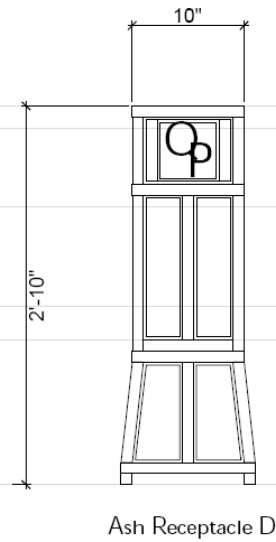
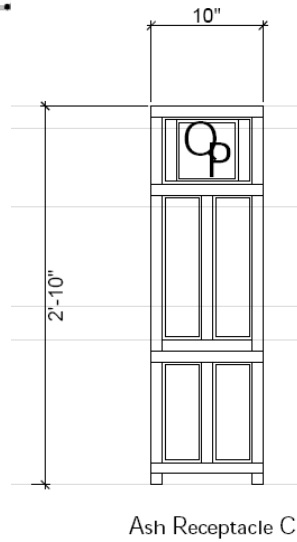
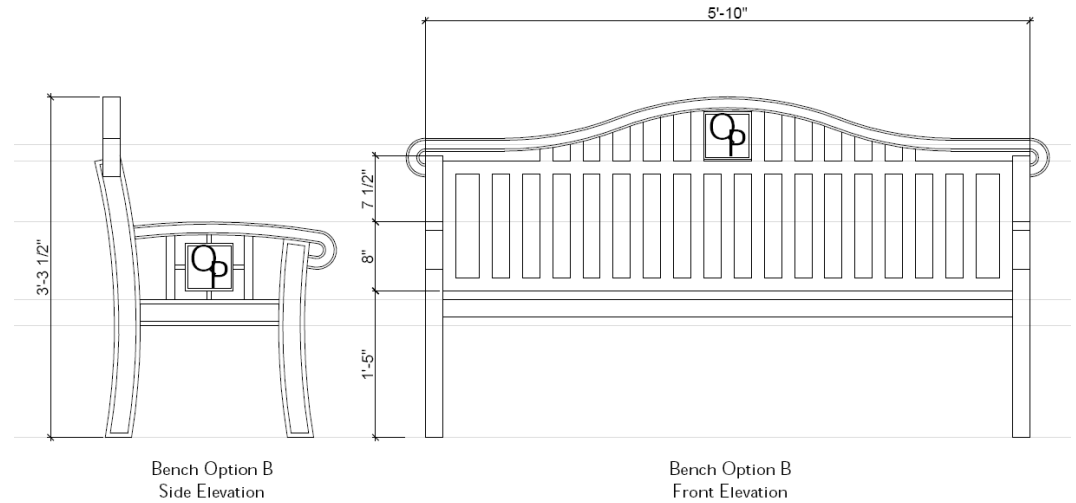
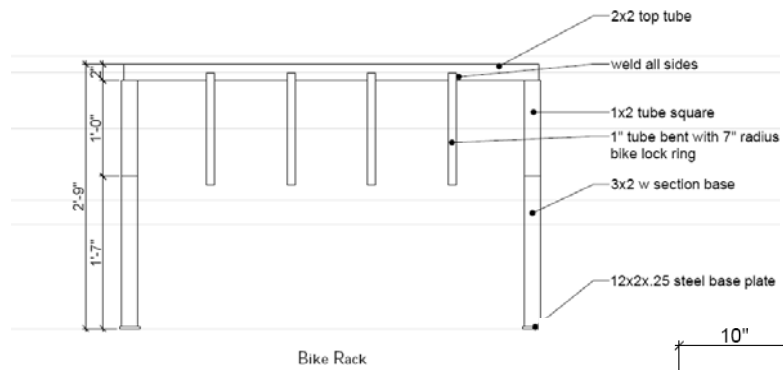
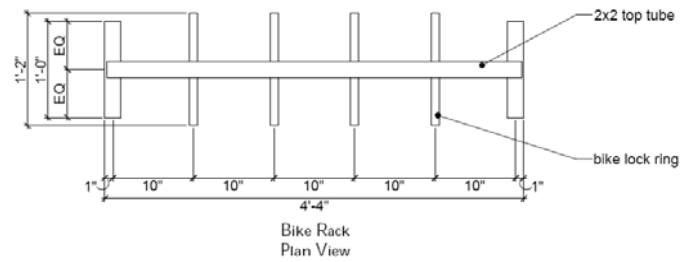


Bike Rack
Side Elevation

Bike Rack
Section

Remington

MULTI-FAMILY RESIDENTIAL DESIGN GUIDELINES & ARCHITECTURAL CODES
QUARRY PARK



APPENDIX B

ARCHITECTURAL FORMS AND LAND USE BYLAWS

Quarry Park

APPLICATION FOR PLAN APPROVAL

PHASE _____ LOT _____ BLOCK _____ PLAN _____

CIVIC ADDRESS _____

APPLICANT

Builder: _____ Telephone: _____

Address: _____ Fax: _____

Contact: _____

Owner Name: _____

HOUSING DESIGN

House Type: _____ Model/Job No: _____
(Single-family, Townhouse, Apartment)

Architectural Style: _____ Ground Floor Area: _____
(Georgian, French Country)

Roof Style: _____ Roof Pitch: _____ Total Developed Floor Area: _____

SET BACKS AND GRADE INFORMATION

SETBACKS: Front _____ Rear _____ Left Side _____ Right Side _____ Height _____

GRADES:	FRONT	REAR
Left Side	_____	_____
Right Side	_____	_____
Entrance	_____	_____

FINISHED LANDSCAPED GRADES AT HOUSE CORNERS (left and right as viewed from street)

Actual Top of Footing _____ Lowest Top of Footing _____

Top of Main Floor Joist _____ Front of Garage _____

EXTERIOR FINISHES	MATERIAL	MANUFACTURER	COLOUR
Roof	_____	_____	_____
Walls - General	_____	_____	_____
Walls - Secondary	_____	_____	_____
Brick	_____	_____	_____
Stone	_____	_____	_____
Trim	_____	_____	_____
Fascia	_____	_____	_____
Soffits	_____	_____	_____
<small>(eavestrough, downspouts)</small>			
Rainware	_____	_____	_____
Entry Doors	_____	_____	_____
Garage Door	_____	_____	_____
Shutters	_____	_____	_____
Balustrades	_____	_____	_____
Cornices/Friezes	_____	_____	_____
Columns	_____	_____	_____

SITE PLAN REQUIREMENTS

A Site Plan with the following information must be provided. The Builder is responsible to confirm on site that the information submitted and reviewed matches the actual site conditions before starting construction.

- | | |
|--|---|
| a.) Dimensions of lot. | h.) Location of underground water lines, sanitary, and storm lines. |
| b.) Dimensions of building. | i.) Proposed elevations at each corner of the house, garages slab, top of footings and top of joists. |
| c.) Dimensions of property lines. | j.) Indicate all roads, lanes, sidewalks, and gutters adjacent to property, as well as: all hydrants, light poles, power poles, transformers, telephone pedestals etc., on or adjacent to the property. |
| d.) Location of driveway and slope of driveway. | |
| e.) Indicate all easements. | |
| f.) Indicate locations of retaining walls. | |
| g.) Location of drainage swales and drainage patterns. | |

USE OF HOUSE PLAN APPROVAL SERVICES

The Applicant acknowledges that the house plan approval is provided as a service and the Developer and its Approving Officers assume no responsibility for the accuracy of the information provided, or for any losses or damages resulting from use thereof.

The Applicant further acknowledges that he will hold the Developer and its Approving Officers harmless from action resulting from the use of this information.

Date: _____ Signature of Applicant: _____

CONDITIONS OF APPROVAL

1. Finished grade to be in accordance with plot plan. The Builder is responsible for proper drainage of lot based on subdivision design.
2. The Builder is responsible for any retaining walls that may be required due to grading.
3. Maximum of 450mm parging showing all elevations, including walkouts.
4. All roof vents and/or flashing that are visible from the street are to be painted to match roof colour.

Additional Approval Comments: _____

GRADES:

Approved — As Noted: _____ Date: _____

ARCHITECTURAL:

Approved — As Noted: _____ Date: _____

APPROVED: _____ BY: _____

DEVELOPER

REMINGTON DEVELOPMENT CORPORATION

Telephone: 255-7003

Fax: 255-7530

REPRESENTATIVE

IBI GROUP

Telephone: 270-5600

Fax: 270-5610